



## SHEET LAYOUT INDEX

## MINIMUM GROUND ELEVATION

MINIMUM GROUND ELEVATION (MGE): IS THE MINIMUM FINISHED GROUND ELEVATION AT THE HOME. THIS IS THE TOP OF BLACK DIRT UNDER THE GRASS, OR THE TOP OF LANDSCAPE ROCK OR OTHER LANDSCAPE MATERIAL <u>AT THE LOWEST EXPOSED PART OF THE</u>

THE MGE SHOULD NOT BE CONSTRUED AS BEING APPLICABLE TO ALL AREAS OF THE BUILDING FOUNDATION, NOR AS A FINISHED FLOOR ELEVATION FOR A WALKOUT BASEMENT.

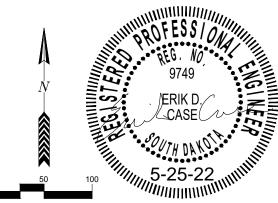
ON LOTS WITH REAR YARD DRAINAGE THIS ELEVATION TYPICALLY INDICATES THE MINIMUM FINISHED GROUND AT THE LOCATION OF THE HOME NEAREST THE LOW BACK CORNER OF THE LOT. GROUND ELEVATIONS ON THE FRONT AND HIGH BACK SIDE OF THE STRUCTURE MAY NEED TO BE SUBSTANTIALLY HIGHER TO ACHIEVE POSITIVE DRAINAGE.

ON LOTS WITH BACK TO FRONT DRAINAGE THIS ELEVATION TYPICALLY INDICATES THE MINIMUM FINISHED GROUND AT THE LOCATION OF THE HOME NEAREST THE LOW FRONT CORNER OF THE LOT. GROUND ELEVATIONS ON THE SIDES AND REAR OF THE STRUCTURE MAY NEED TO BE SUBSTANTIALLY HIGHER TO ACHIEVE POSITIVE DRAINAGE.

IN ALL CASES, LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. FROM THE BUILDING FOUNDATION THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET AS REQUIRED BY THE INTERNATIONAL

# MGE SYMBOL EXPLANATION:

"ARROW" INDICATES PROBABLE CORNER(S) OF STRUCTURE TO WHICH MGE IS APPLICABLE TYPICAL MGE ELEVATION



Brosz Engineering, In 2309 W. 50th St. Sioux Falls, SD 57105 (605) 336-1676

MYDLAND ESTATES EVELOPMENT ENGINEERING PLAN GRADING PLAN

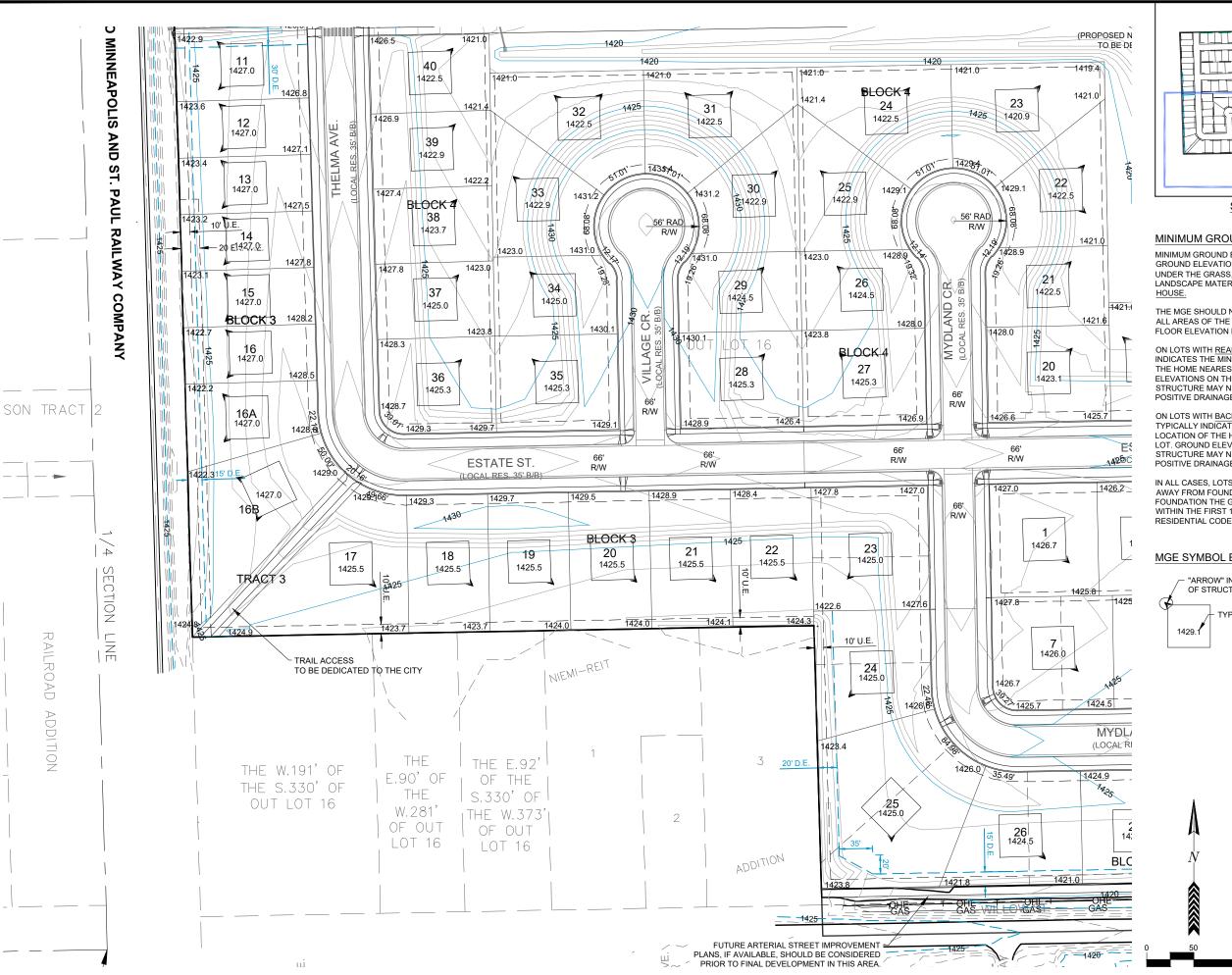
 $\mathbb{B}$ rosz

C7.02

DATE: 9/8/2020 REV1: 7/9/2021 REV2: 9/7/2021 REV3: 5/25/2022 REV4:

REV5:







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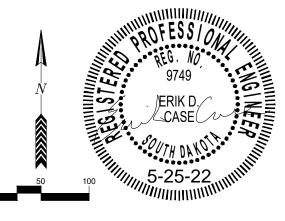
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## MGE SYMBOL EXPLANATION:

"ARROW" INDICATES PROBABLE CORNER(S) OF STRUCTURE TO WHICH MGE IS APPLICABLE TYPICAL MGE ELEVATION



PLAN MYDLAND ESTATES EVELOPMENT ENGINEERING GRADING PLAN

 $\mathbb{B}$ rosz

C7.03

DATE: 9/8/2020

REV1: 7/9/2021

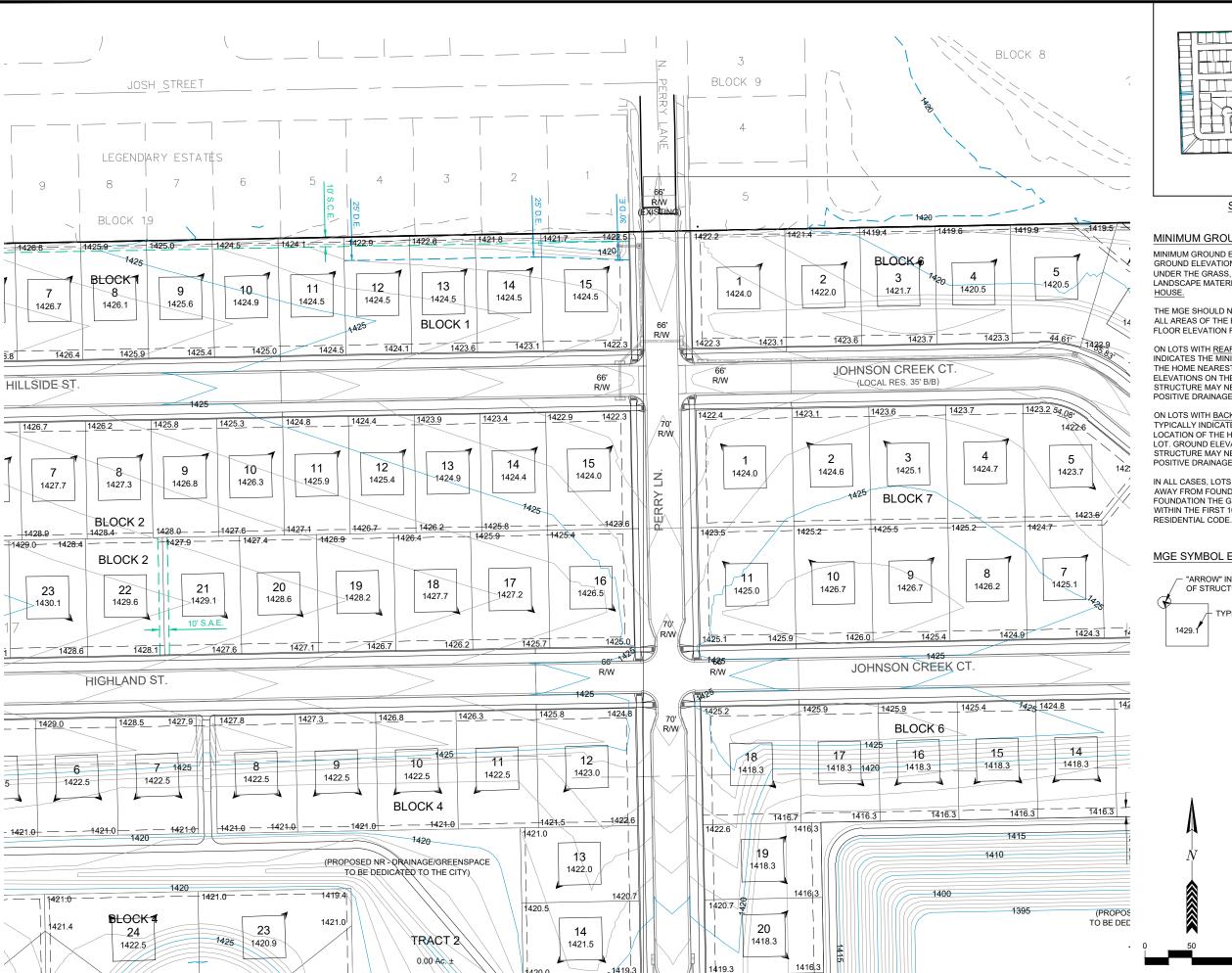
REV2: 9/7/2021

REV3: 5/25/2022

REV4:

REV5:







#### SHEET LAYOUT INDEX

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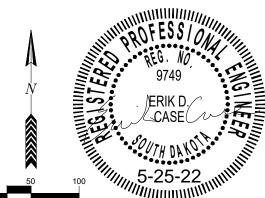
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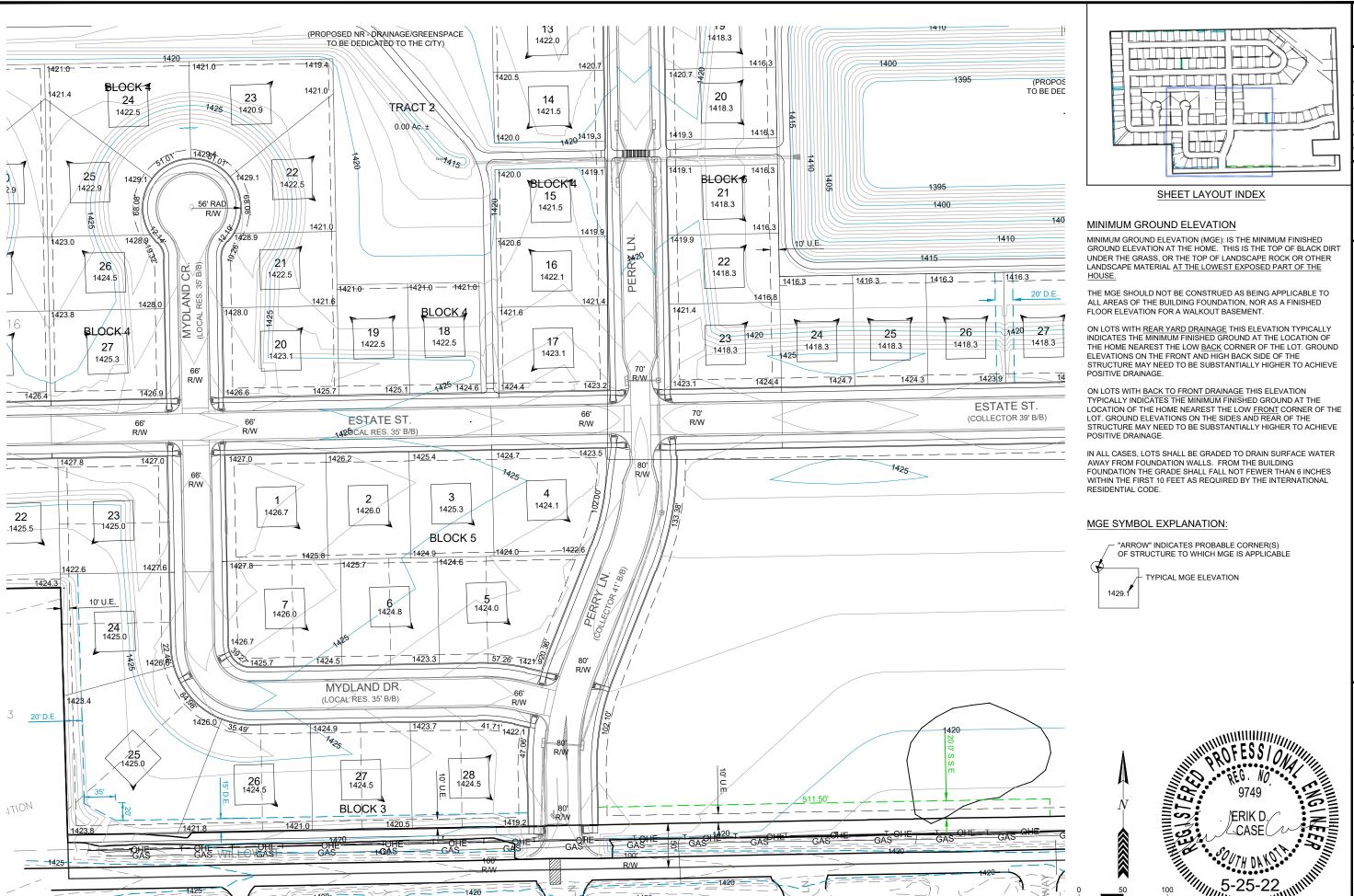


MYDLAND ESTATES DEVELOPMENT ENGINEERING PLAN GRADING PLAN

 $\mathbb{B}$ rosz

C7.04





 $\mathbb{B}$ rosz

C7.05

DATE: 9/8/2020

REV1: 7/9/2021

REV2: 9/7/2021

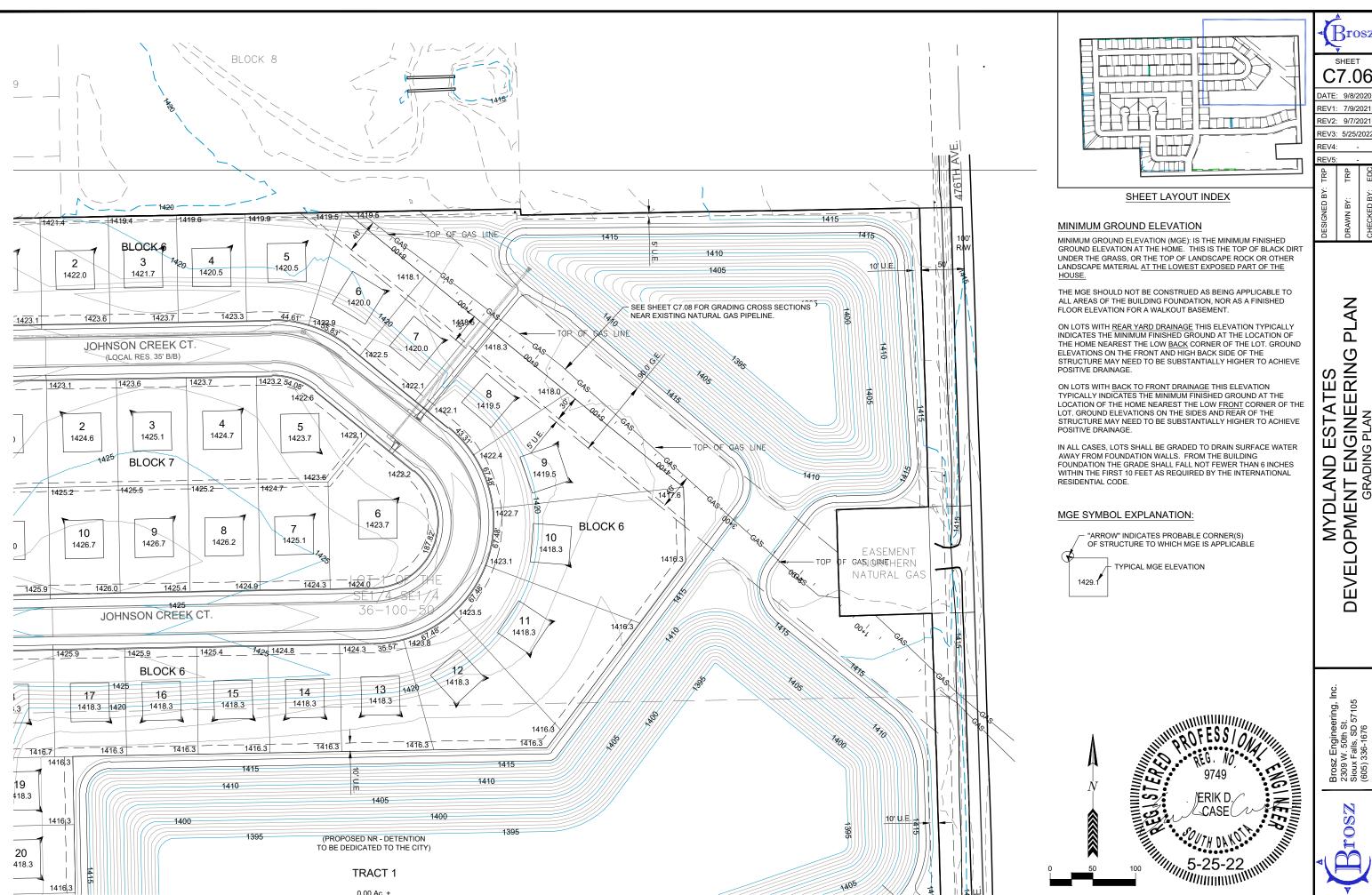
REV3: 5/25/2022

REV4:

REV5:

MYDLAND ESTATES DEVELOPMENT ENGINEERING PLAN GRADING PLAN





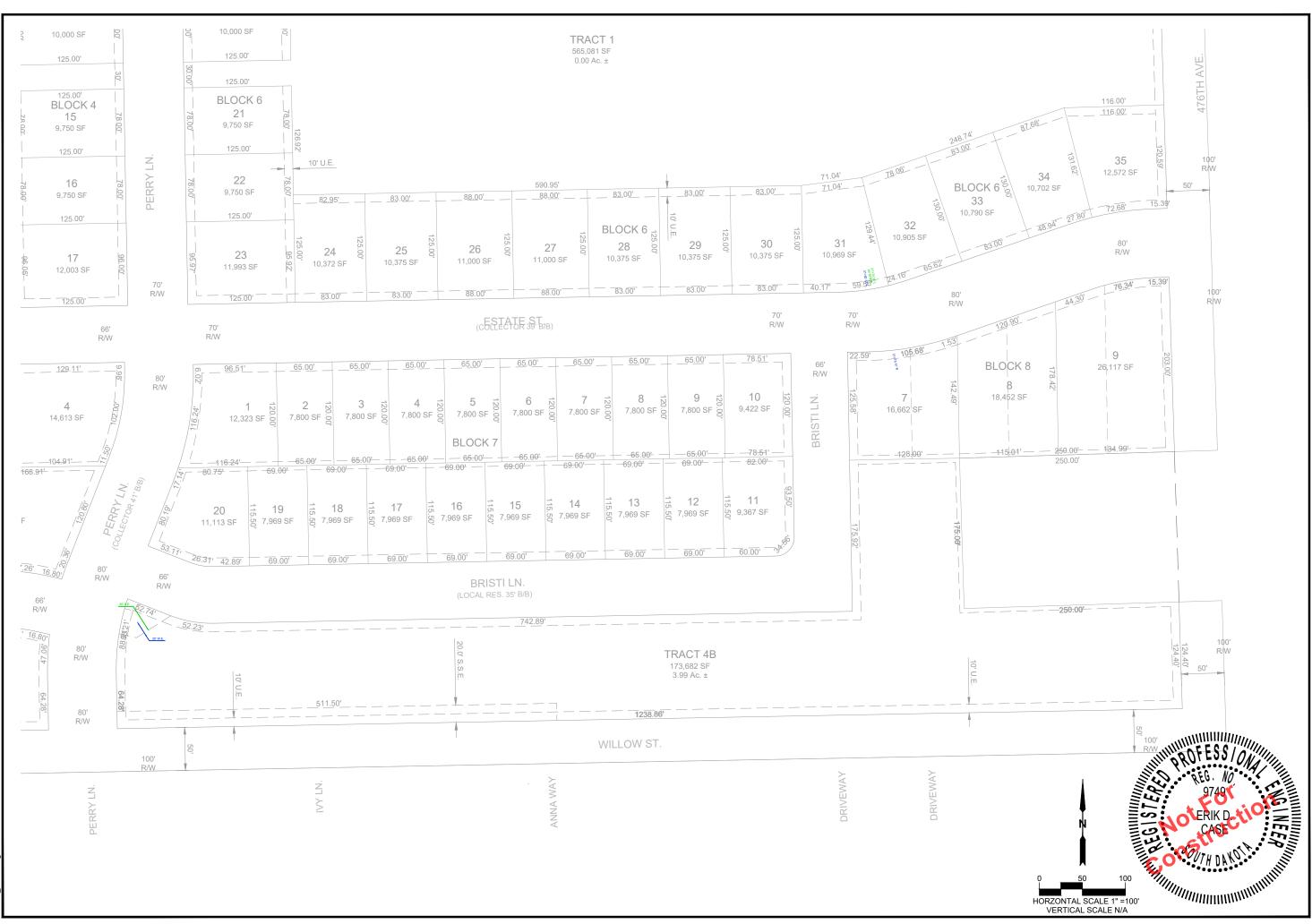
MYDLAND ESTATES
DEVELOPMENT ENGINEERING PLAN
GRADING PLAN

 $\mathbb{B}$ rosz

C7.06 DATE: 9/8/2020

REV2: 9/7/2021 REV3: 5/25/2022 REV4: REV5:





THE DESIGN GROUP

CIVIL SITE + LAND DEVELOPMENT

P.O. BOX 652 SIOUX FALLS, SD 57101 +

+ 605-800-1912

CONSTRUCTION PLAN - PHASE 5A MYDLAND ESTATES - HARRISBURG, SD LOT LAYOUT PLAN

REVISIONS:

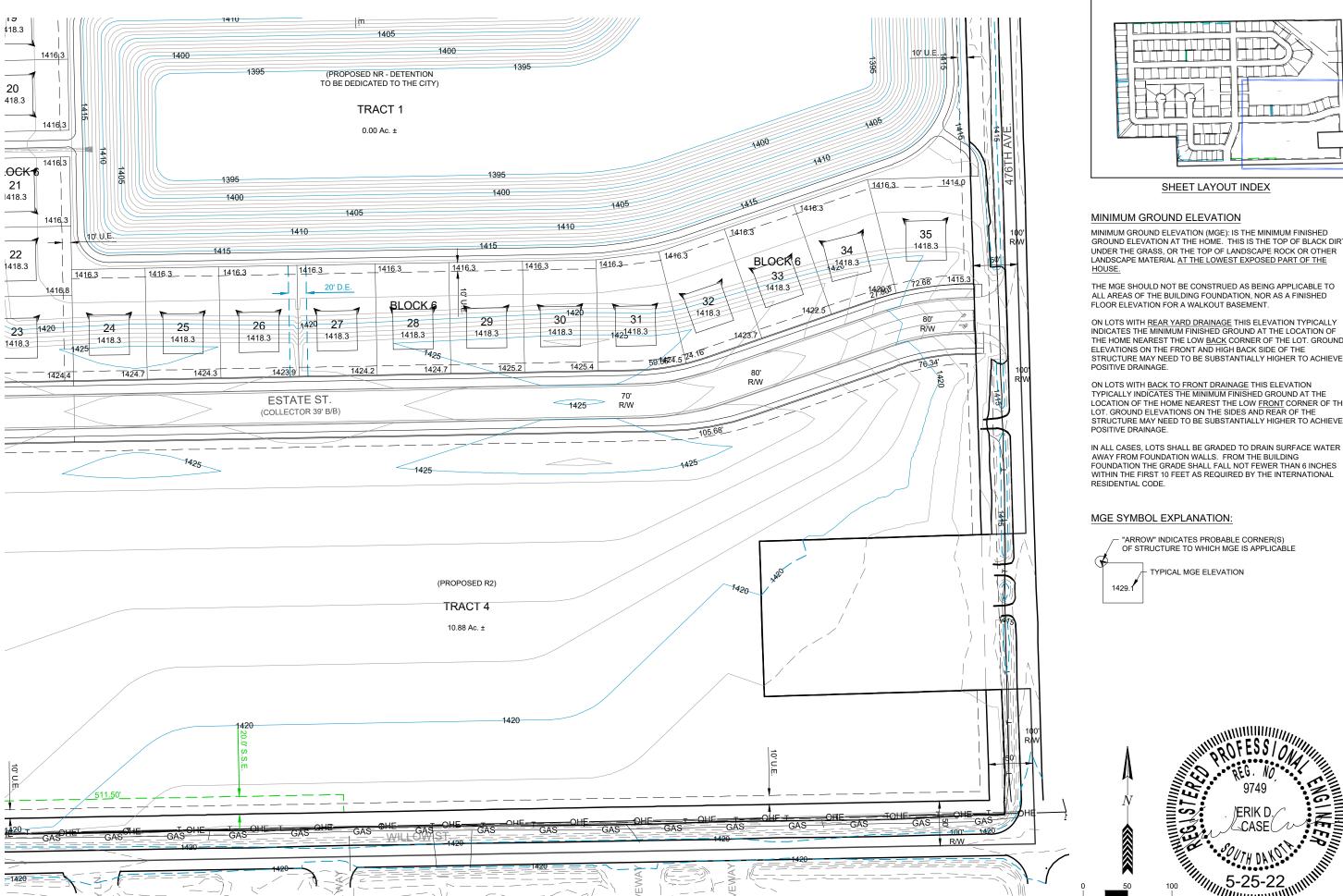
1 DATE DESC
2 DATE DESC
3 DATE DESC

PROJECT NUMBER 23050037

DATE: 2/16/24
DRAWN BY: TRE
CHECKED: EDG

SHEET:

F1



 $\mathbb{B}$ rosz C7.07 DATE: 9/8/2020 REV1: 7/9/2021

REV2: 9/7/2021 REV3: 5/25/2022 REV4:

REV5:

MYDLAND ESTATES DEVELOPMENT ENGINEERING PLAN GRADING PLAN

GROUND ELEVATION AT THE HOME. THIS IS THE TOP OF BLACK DIRT UNDER THE GRASS, OR THE TOP OF LANDSCAPE ROCK OR OTHER

THE HOME NEAREST THE LOW BACK CORNER OF THE LOT. GROUND STRUCTURE MAY NEED TO BE SUBSTANTIALLY HIGHER TO ACHIEVE

LOCATION OF THE HOME NEAREST THE LOW <u>FRONT</u> CORNER OF THE LOT. GROUND ELEVATIONS ON THE SIDES AND REAR OF THE STRUCTURE MAY NEED TO BE SUBSTANTIALLY HIGHER TO ACHIEVE

FOUNDATION THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES



PLAT OF LOTS 25, 26, 27 AND 28 IN BLOCK 2; LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 16A, 16B, 16C, 17, 18, 19, 20, 21, 22 AND 23 IN BLOCK 3; LOTS 1, 2, 3, 4, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39 AND 40 IN BLOCK 4; LOTS 1, 2 AND 3 IN BLOCK 5 OF MYDLAND ESTATES ADDITION AN ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA. RADIUS ARC LENGTH CHORD LENGTH CHORD BEARING DELTA ANGLE 10°11'29" W 22°28'37" 340.00 133.38 132.53 10°10'47 102.10 W 22'30'00 260.00 101.45 C2 0 N 75°32'24" W C5 91.00 49.33 48.73 31°03'38' LOT 1 S 46°22'18" E 89°23'49" C6 25.00 39.01 35.17 N 53°27'23" W C7 91.00 20.16 20.12 12°41'46 TRACIT 6 58 N 23°09'58" W C8 25.00 19.28 18.81 44°11'29 88°19'36" W N 39°08'57" W N 01°54'24" E 56.00 C9 12.17 12°27'15 12.15 LOT 2 56.00 69°39'27' C10 63.97 68.08 8,684 S.F N 62°49'57" E 56.00 49.27 52°11'40' C11 51.01 U.E C12 56.00 51.01 49.27 S 64°58'23" E 52°11'40' N 88°57'10" E 19'36" W S 04°02'49" E C13 56.00 63.97 68.08 HILLSIDE STREET LOT 3 C14 56.00 12.14 36°59'28' 12°25'13 12.11 25.00 S 21°03'55" 44°16'15" THELMA AVENUE C15 19.32 18.84 W 5' D.F N 23°12'20" W 44°16'15' C16 25.00 19.32 18.84 N 39°07'54" W N 01°54'24" E C17 56.00 12.14 12.11 12°25'08 LOT 4 C18 56.00 68.08 63.97 69°39'27 8 684 S.F. N 62°49'57" C19 56.00 51.01 49.27 88'19'36 S 64°58'23" E 56.00 51.01 C20 49.27 52°11'40" СК 140.06 S 04°02'49" E 68.08 69°39'27' C21 56.00 63.97 LOT 5 ဂ 36°59'28" W 21°03'55" W C22 56.00 12.14 12.11 12°25'14' 88.5 8,684 44°16'15' C23 25.00 19.32 18.84 140.06 ₹<u>8</u>2.00° 5° U.E 102 98.05 N 31°22'08' W 91.00 50.00 49.37 31°28'44 88.19,36" 91.00 22.17 22.11 N 08°39'05" W 13°57'22" C25 LOT **LOT** 10,250 **LOT** 10,250 10,250 LOT 6 9 LOT 24 N 46°22'18" C26 58.00 90.50 81.59 W 89°23'49 8,684 S.F 25 S.F. ) SF S.F. S. | % S 88°19'36" W LOT 7 10' U.E. BLK. 8,684 S.F TRACT 33, 88'19'36" W N 88\*57'10" E 386.33 LOT 8 HIGHLAND STREET 33 33 8,684 S.F -107.4733' 33 10' U.E **LOT 9** 0,688 LOT LOT 11 0,688 LOT 10 덛 ,687 LOT 8 LOT 9 LOT 7 ᄓ LOT 5 LOT 6 8,684 S.F 5 S P S N ္က မ 88°19'36" W S.F TRACT **LOT 10** TR. BLK. 10,084 S.F 106.10 88\*57'10' 362.60 TRACT 4 MYDLAND ESTATES N 88'57'10' 140.06 ADDITION 127.57 **LOT 11 LOT 40** 10,084 S.F. -163.25BLOCK TRACT 5 TRACT 4 U.E. 126.72, TR. 5 60 **LOT 23** THELMA AVEN **LOT 31 LOT 24 LOT 32 LOT 12** 88'19'36" E 15,323 S.F 15,333 S.F. 15,333 S.F. 15.323 S.F. 8,404 S.F **LOT 39** 10' U.E. 10,104 S.F. **LOT 13 LOT 22** 1.04,1 **LOT 30 LOT 25 LOT** 33 8,404 S.F. 88°19'36" E 12,514 S.F. 120' 12,553 S.F. 12.553 S.F. 12,514 S.F. **LOT 38** 10,036 S.F **LOT 14** /N 88\*55'47" 8,404 S.F SCALE: 1"=120' 115.43 MYDLAND 115.68 88'19'36' CHICAGO 140.06 00 **LOT 21 LOT 26 LOT 29 LOT 34 LOT 15** N 88\*55'47" E **LOT 37** 10,775 S.F. 10.796 S.F. 10,796 S.F 10,775 S.F. VILLAGE CI 8.404 S.F 9,969 S.F N 88°55'47" N 88°55'47" 88\*55'47" MINNEAPOLIS 88°19'36" W 130.00 **LOT 18** 10,145 S.F. 130.25 **LOT** 130.00 88°19'36" E **LOT 16** TRACT 4 UF CIRCLE 5' U.F. **LOT 20** 8.404 S.F **LOT 27 LOT 28 LOT 35 LOT 36** 13, S.F 13,188 S.F 13,214 S.F. 13,214 S.F 13,188 S.F 12,333 S.F 10' U.E.-10' U.E. **LOT 16A** 10' U.E. 33 33 33' 130.25 10,502 S.F. AND -98.39 TRACT 5 339.57 33 <u>26</u>1.39 ESTATE STREET N 88\*55'47" E PAUL LOT 16B 86.00 \_86.00'-18.086 MYDLAND TRACT RAILWAY COMPANY -10' U.E. ō LOT 5 └10'U.E. 딕 ,280 ,280 16,176 덛 ,680 **LOT** 12,565 **LOT** 12,557 04'13" **LOT** 12,557 **LOT** 12,557 딕 ္ကြယ 5 ,557 ST N S.F S.F | 23 S. 2 S.F | 2 S.F. **3** S.F. 20 S.F. S.F | **1** 94.00 123.27 S 88.55,47" W **BLOCK 3** 10' U.E. 67.68 **BLOCK 5** LOT 7 LOT 6 LOT LOT 24 MINING LAND LEGEND: **SURVEYOR'S NOTE:** LOCATION OF THE FLOOD PLAIN ZONE WAS DIGITIZED FROM FLOOD INSURANCE RATE MAP PANEL 162 OF 550, MAP NUMBER 46083C0162C, MAP EFFECTIVE DATE APRIL 2, 2008.

THE ACCURACY OF SAID FLOOD ZONE IS APPROXIMATE AND NOT BASED ON ANY FLOOD ELEVATION OR A FIELD SURVEY. NO WARRANTY IS PROVIDED FOR THE EXACT LOCATION OF THE FLOOD PLAIN THAT A SUBSEQUENT FLOOD FLEVATION SURVEY MAY DISCLOSE SET 5/8" REBAR W/CAP #6700 FD. MONUMENT SECTION CORNER (M) MEASURED DISTANCE ELEVATION SURVEY MAY DISCLOSE.
\*SUBJECT AREA PART OF LINCOLN COUNTY UNINCORPORATED AREAS 460277. (R) RECORD INFORMATION AC. ACRES S.F. SQUARE FEET SITE E.S.L. EACH SIDE OF PROPERTY LINE U.E. UTILITY EASEMENT S.C.E. SUMP COLLECTION EASEMENT AREA TABLE R/W RIGHT-OF-WAY **STREETS** 4.785 AC.± N.T.S. NOT TO SCALE LOTS 15.484 AC.± PREVIOUSLY PLATTED LINE TOTAL 20.269 AC.± RIGHT OF WAY LINE PREPARED BY: NOTES: BASIS OF BEARINGS IS UTM-ZONE 14 THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. Land Surveying and GPS Consulting 274TH STREET 211 E. 14th Street Suite 100 EASEMENTS OF RECORD WERE NOT VICINITY MAP N.T.S. Sioux Falls, South Dakota 57104 RESEARCHED AND ARE NOT SHOWN CITY OF HARRISBURG Phone: (605) 339-8901 FAX:(605) 274-8951 ON THE PLAT. 1 OF 2

#22-314 JEB

PLAT OF LOT 16 IN BLOCK 2; LOTS 24, 25, 26, 27 AND 28 IN BLOCK 3; LOTS 12, 13, 14, 15, 16, AND 17 IN BLOCK 4; LOTS 4, 5, 6, AND 7 IN BLOCK 5; LOTS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19 20, 21, 22 AND 23 IN BLOCK 6; LOTS 2, 3, 4, 5, 6, 7, 8, 9, 10 AND 11 IN BLOCK 7; ALL OF MYDLAND ESTATES ADDITION

AN ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA. PLATTED SOUTH LINE OF LEGENDARY ESTATES/NORTH LINE OF SOUTH 17 RODS 12 FEET 5 INCHES OF THE N1/2 SE1/4 36-100-50 [SEE AFFIDAVIT OF EXPLANATORY TITLE S 01**'44'57"** E 7.32' (BOOK 29 OF MISC., ON PAGE 503)] N 88'57'10" E 358.92 204.45 N 88°57'40" E **BLOCK 6** 5 10000 S.F. 10000 S.F. 14 15 10000 S.F. 8 11950 S.F. 90' NORTHERN NATURAL GAS LINE 11976 S.F. **EASEMENT** 80.00' 80.00 N 88°57'10" E 266.47 HILLSIDE STREET JOHNSON CREEK COURT Z 10' U.E. 15 14 5 10250 S.F. S 9 10250 S.F. 9 11863 S.F. 10250 S.F. S BLOCK 7 9 1/16TH LINE BLOCK 7 18225 S.F. N 88'57'10" E 262.00 **BLOCK 6** 5 83'35'03' 5' U.E. BLOCK 2 9 17441 S.F. 02 10250 S.F. 00 16 11 2 10250 S.F. 10250 S.F. 10250 S.F. g 10 9 11250 S.F. 158.00 12750 S.F. 25736 S.F. 10' U.E 102.00 90.00 JOHNSON CREEK COURT  $^{\rm CL}$ 33 514.91 132.75 N 88'57'10" E 647.66 33 2 TRACT 1 OF 20311 S.F. 84.00 MYDLAND 104.19 **ESTATES ADDITION** '10' U.E. 10' U.E 12 14 18 16 15 17236 S.F. № 10500 S.F. 11544 S.F. 12 10500 S.F. 13023 S.F. 10500 S.F. 10500 S.F. 13187 S.F. 35" 35 10' U.E. 105.50 S 88'57'10" W 01'02'50' 13 19 8 10000 S.F. 01'02'50" TRACT 1 OF N 88\*57\*10" E N 88'57'10" E MYDLAND ESTATES ADDITION 160.00 10000 S.F. 10000 S.F. 120' 8 N 88'57'10" E 8 N 88'57'10" E SCALE: 1"=120" 21 S 82'35'18" W 5 70'57 46" W 9750 S.F. 9750 S.F 88\*57\*10" N 88'57'10" E BLOCK 6

AREA	TABLE
STREETS	5.34 AC.±
LOTS	14.03 AC.±
TOTAL	19.37 AC.±

#### CURVE RADIUS ARC LENGTH CHORD LENGTH CHORD BEARINGDELTA ANGLE S 70'55'34" E 40'14'31" S 19'04'26" W 139'45'29" 110.00 77.26 75.68 110.00 268.32 206.57 S 10 11 29" W S 10 10 47" W 300.00 117.69 116.94 22°30'00" C4 300.00° 117.81 117.05 N 82'55'28" W 15'06'39" 55.29 C5 210.26 55.45 N 46'04'11" W 90'00'00" 82.02 C6 58.00'

# LEGEND:

- SET 5/8" REBAR W/CAP #6700
- FD. MONUMENT (#6700)
- ( ) RECORD INFORMATION AC. ACRES
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- S.F. SQUARE FEET R/W RIGHT-OF-WAY
- N.T.S. NOT TO SCALE
- PREVIOUSLY PLATTED LINE

# - - EASEMENT LINE

# NOTES:

1. AS PER FLOOD INSURANCE RATE MAP PANEL 162 OF 550, MAP NUMBER 46083C0162C, MAP EFFECTIVE DATE: APRIL 2, 2008, PLAT IS WITHIN FLOOD ZONE X.

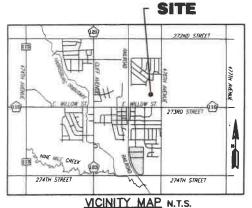
2. THE STREETS, AS SHOWN ON THE PLAT, ARE DEDICATED TO THE PUBLIC FOR PUBLIC USE FOREVER.

- 3. BASIS OF BEARINGS IS UTM-ZONE 14
- 4. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- 5. EASEMENTS OF RECORD WERE NOT RESEARCHED AND ARE NOT SHOWN ON THE PLAT. 6. DISTANCES ALONG CURVES ARE CHORD DISTANCES.
- 7. DRAINAGE AND PIPELINE EASEMENTS MUST BE KEPT CLEAR OF ALL OBSTRUCTIONS INCLUDING FENCES, SHEDS, AND TREES.



# TINIGHWAE

Land Surveying and GPS Consulting 211 E. 14th Street Suite 100 Sioux Falls, South Dakota 57104 Phone: (605) 339-8901 FAX:(605) 274-8951

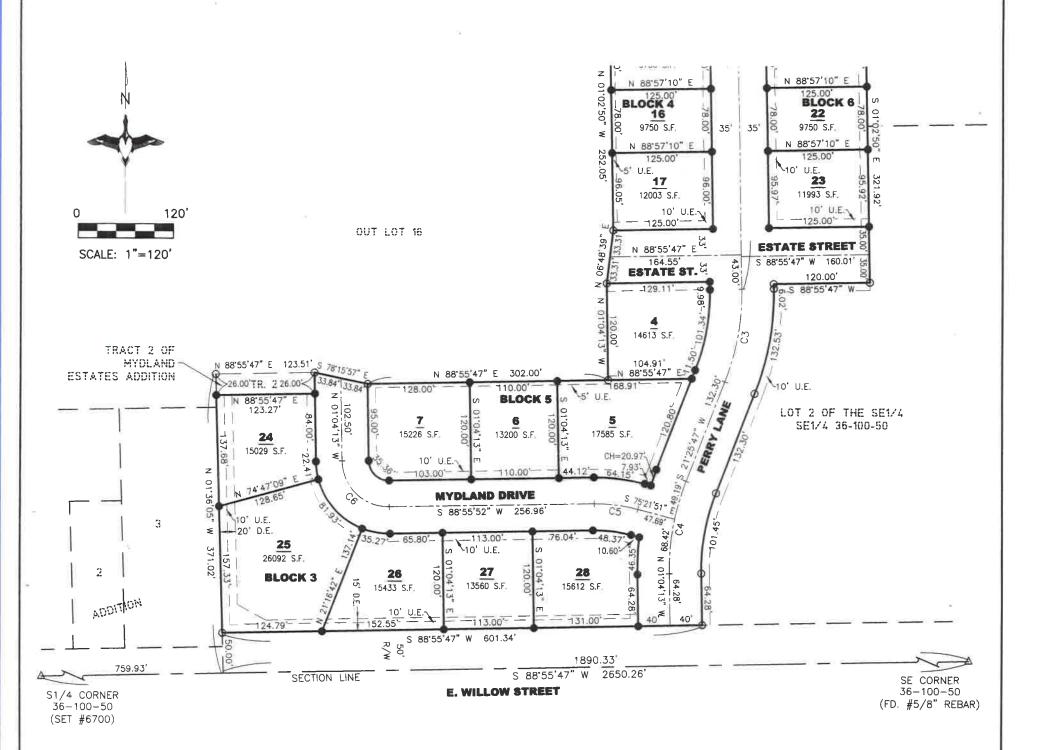


VICINITY MAP N.T.S. CITY OF HARRISBURG

1 OF 3

PLAT OF LOT 16 IN BLOCK 2; LOTS 24, 25, 26, 27 AND 28 IN BLOCK 3; LOTS 12, 13, 14, 15, 16, AND 17 IN BLOCK 4; LOTS 4, 5, 6, AND 7 IN BLOCK 5; LOTS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19 20, 21, 22 AND 23 IN BLOCK 6; LOTS 2, 3, 4, 5, 6, 7, 8, 9, 10 AND 11 IN BLOCK 7; **ALL OF MYDLAND ESTATES ADDITION** 

AN ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA.



AREA	TABLE
STREETS	5.34 AC.±
LOTS	14.03 AC.±
TOTAL	19.37 AC.±

CURVE	RADIUS	ARC LENGTH	CHORD LENGT	HCHORD BEARING	DELTA ANGLE
C1	110.00	77.26'	75.68	S 70°55'34" E	40"14"31"
C2	110.00	268.32'	206.57'	S 19'04'26" W	139'45'29"
C3	300.00'	117.69'	116.94	S 10'11'29" W	22"28"37"
C4	300.00'	117.81	117.05'	S 10"10"47" W	22'30'00"
C5	210.26	55.45'	55.29'	N 82°55'28" W	15'06'39"
C6	58.00"	91.11	82.02	N 46'04'11" W	90,00,00,

# LEGEND:

- SET 5/8" REBAR W/CAP #6700
- FD. MONUMENT (#6700) 0
- RECORD INFORMATION **ACRES**
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- S.F. SQUARE FEET R/W RIGHT-OF-WAY
- N.T.S. NOT TO SCALE
  - PREVIOUSLY PLATTED LINE
  - EASEMENT LINE

# NOTES:

1. AS PER FLOOD INSURANCE RATE MAP PANEL 162 OF 550, MAP NUMBER 46083C0162C, MAP EFFECTIVE DATE: APRIL 2, 2008, PLAT IS WITHIN FLOOD ZONE X.

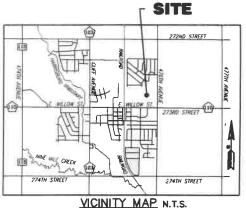
2. THE STREETS, AS SHOWN ON THE PLAT, ARE DEDICATED TO THE PUBLIC FOR PUBLIC USE FOREVER.

- 3. BASIS OF BEARINGS IS UTM-ZONE 14
- 4. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- 5. EASEMENTS OF RECORD WERE NOT RESEARCHED AND ARE NOT SHOWN ON THE PLAT.
- 6. DISTANCES ALONG CURVES ARE CHORD DISTANCES.
- 7. DRAINAGE AND PIPELINE EASEMENTS MUST BE KEPT CLEAR OF ALL OBSTRUCTIONS INCLUDING FENCES, SHEDS, AND TREES.





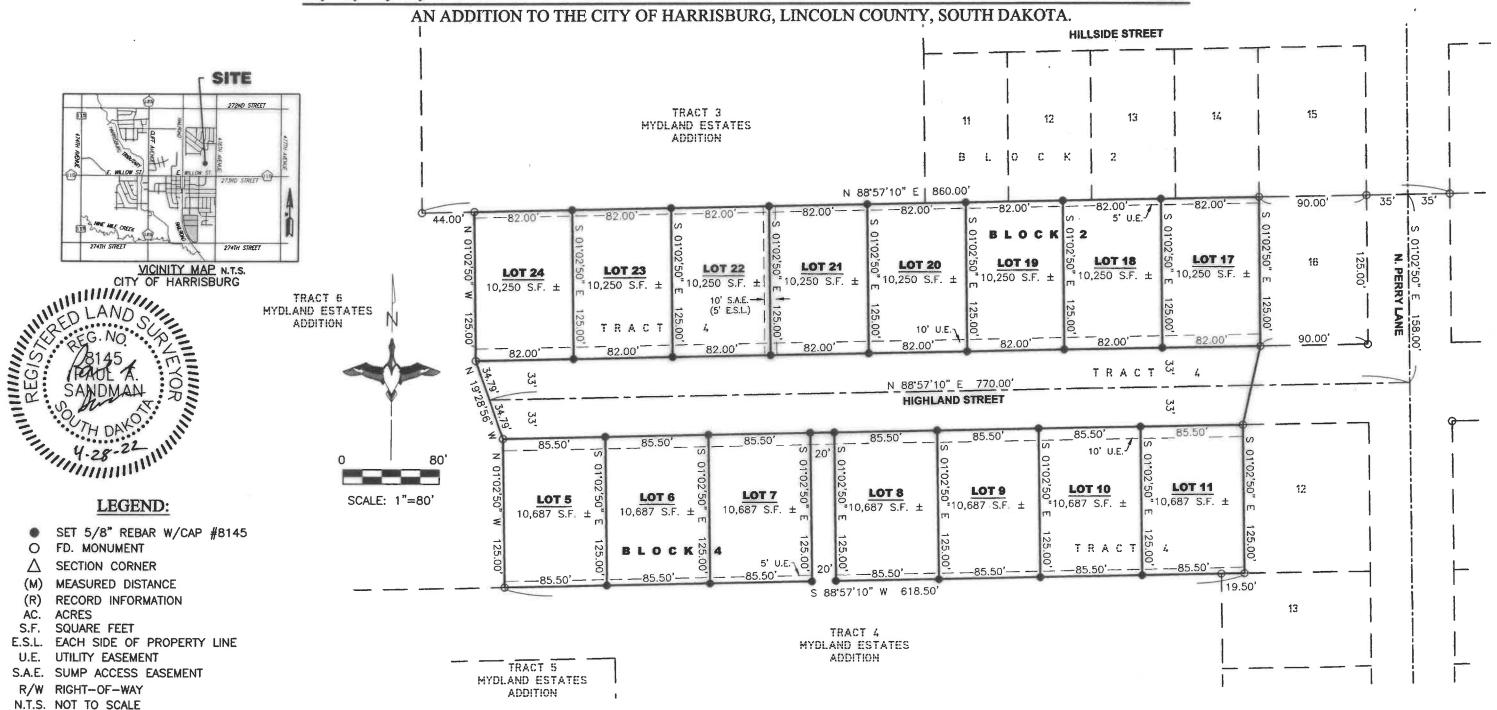
**Land Surveying and GPS Consulting** 211 E. 14th Street Suite 100 Sioux Falls, South Dakota 57104 Phone: (605) 339-8901 FAX:(605) 274-8951



VICINITY MAP N.T.S. CITY OF HARRISBURG

2 OF 3

# PLAT OF LOTS 17, 18, 19, 20, 21, 22, 23 AND 24 IN BLOCK 2 AND LOTS 5, 6, 7, 8, 9, 10 AND 11 IN BLOCK 4 OF MYDLAND ESTATES ADDITION



#### NOTES:

BASIS OF BEARINGS IS UTM-ZONE 14

- - RIGHT OF WAY LINE

PREVIOUSLY PLATTED LINE

THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.

EASEMENTS OF RECORD WERE NOT RESEARCHED AND ARE NOT SHOWN ON THE PLAT.

#### 

# PREPARED BY:



Land Surveying and GPS Consulting 211 E. 14th Street Suite 100 Sioux Falls, South Dakota 57104 Phone: (605) 339-8901 FAX:(605) 274-8951

# **SURVEYOR'S NOTE:**

LOCATION OF THE FLOOD PLAIN ZONE WAS DIGITIZED FROM FLOOD INSURANCE RATE MAP PANEL 162 OF 550, MAP NUMBER 46083C0162C, MAP EFFECTIVE DATE APRIL 2, 2008.

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\*SUBJECT AREA PART OF LINCOLN COUNTY UNINCORPORATED AREAS 460277.