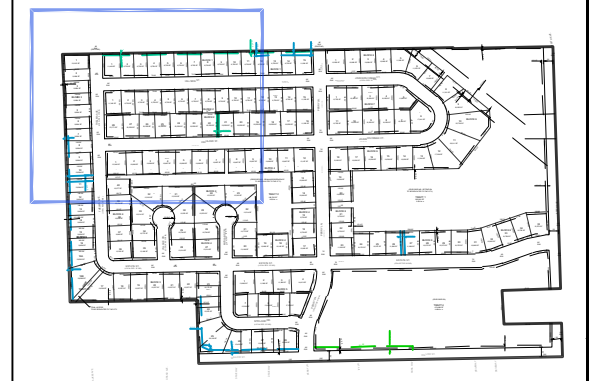
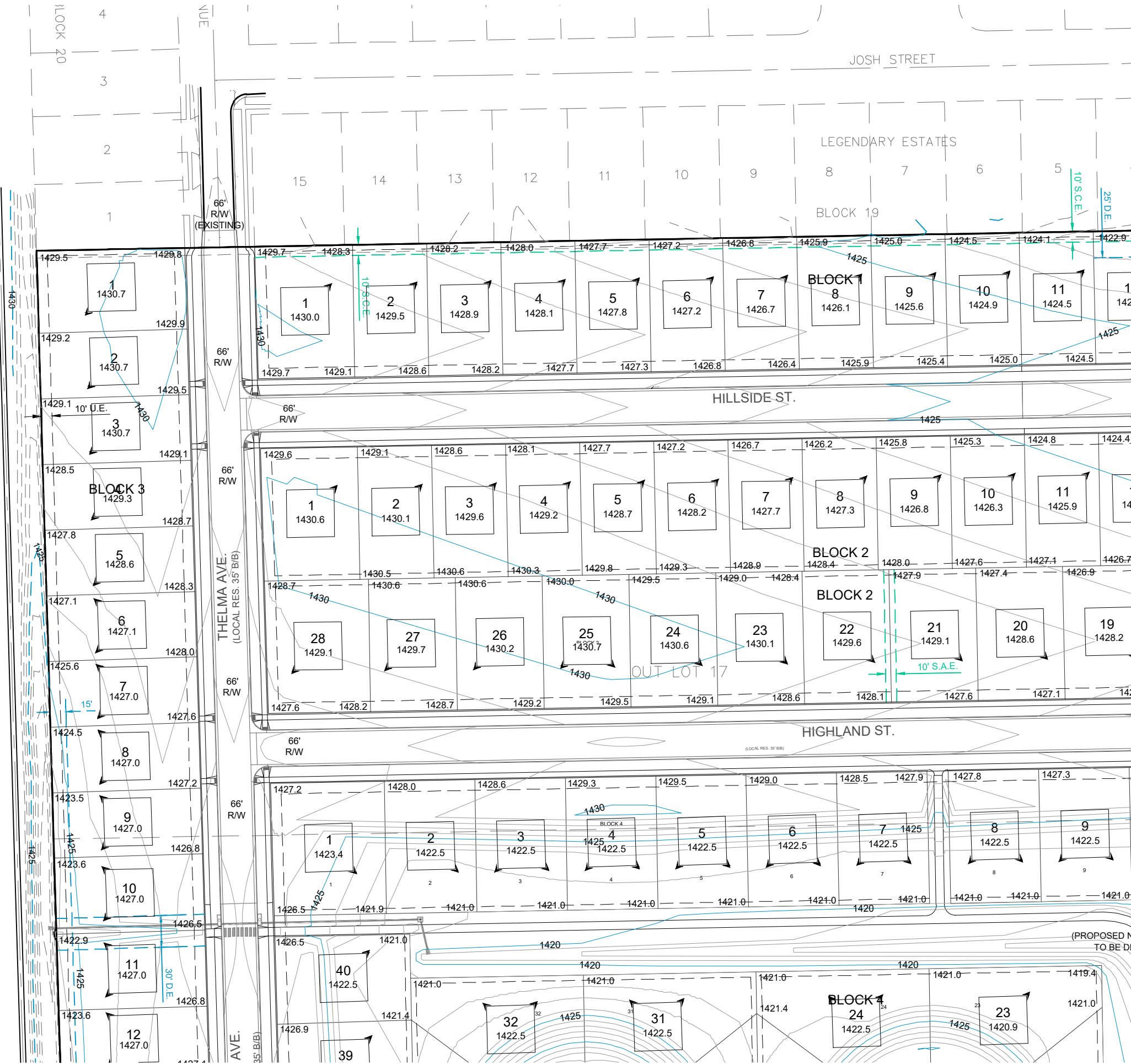


CHICAGO MINNEAPOLIS AVE.



SHEET LAYOUT INDEX

MINIMUM GROUND ELEVATION

MINIMUM GROUND ELEVATION (MGE): IS THE MINIMUM FINISHED GROUND ELEVATION AT THE HOME. THIS IS THE TOP OF BLACK DIRT UNDER THE GRASS, OR THE TOP OF LANDSCAPE ROCK OR OTHER LANDSCAPE MATERIAL AT THE LOWEST EXPOSED PART OF THE HOUSE.

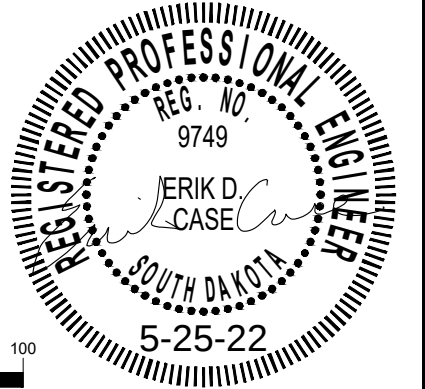
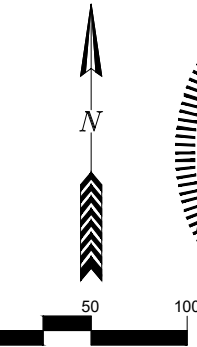
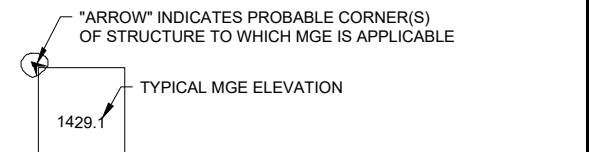
THE MGE SHOULD NOT BE CONSTRUED AS BEING APPLICABLE TO ALL AREAS OF THE BUILDING FOUNDATION, NOR AS A FINISHED FLOOR ELEVATION FOR A WALKOUT BASEMENT.

ON LOTS WITH REAR YARD DRAINAGE THIS ELEVATION TYPICALLY INDICATES THE MINIMUM FINISHED GROUND AT THE LOCATION OF THE HOME NEAREST THE LOW BACK CORNER OF THE LOT. GROUND ELEVATIONS ON THE FRONT AND HIGH BACK SIDE OF THE STRUCTURE MAY NEED TO BE SUBSTANTIALLY HIGHER TO ACHIEVE POSITIVE DRAINAGE.

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MGE SYMBOL EXPLANATION:





SHEET
C7.02

DATE: 9/8/2020
REV1: 7/9/2021
REV2: 9/7/2021
REV3: 5/25/2022
REV4: -
REV5: -

DESIGNED BY: TRP	DRAWN BY: TRP	CHECKED BY: EDC
------------------	---------------	-----------------

MYDLAND ESTATES

DEVELOPMENT ENGINEERING PLAN

GRADING PLAN

Brosz Engineering, Inc.
2309 W. 50th St.
Sioux Falls, SD 57105
(605) 336-1676

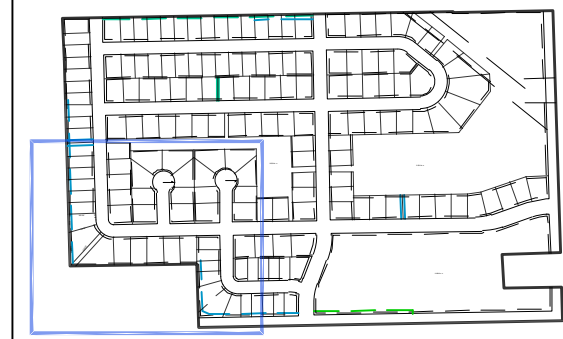
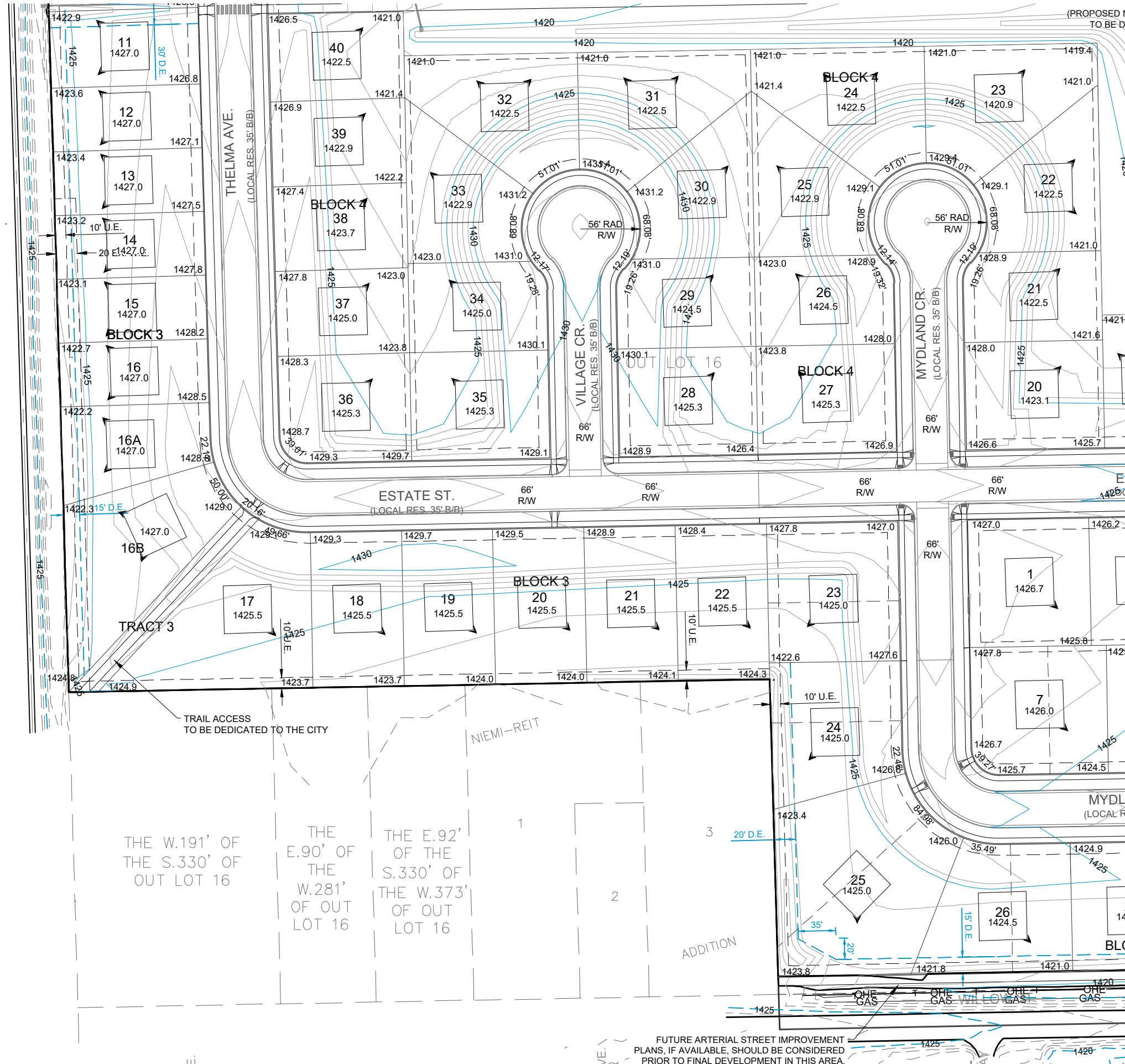


MINNEAPOLIS AND ST. PAUL RAILWAY COMPANY

SON TRACT 2

1/4 SECTION LINE

RAILROAD ADDITION



SHEET LAYOUT INDEX

MINIMUM GROUND ELEVATION

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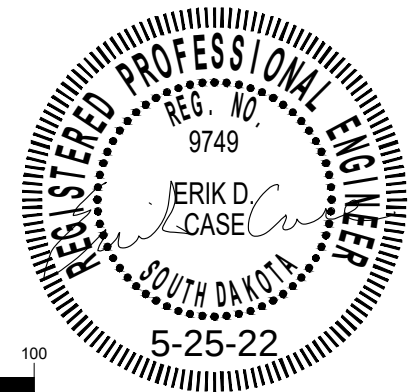
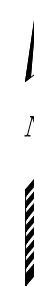
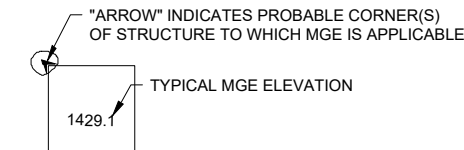
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MGE SYMBOL EXPLANATION:

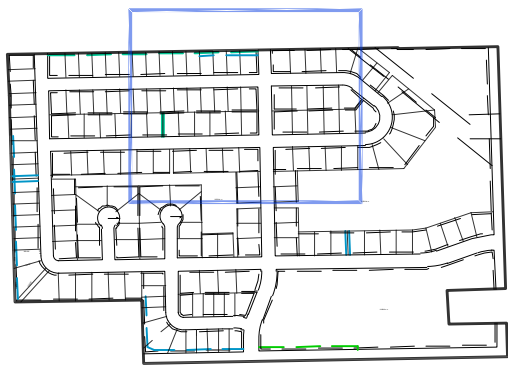
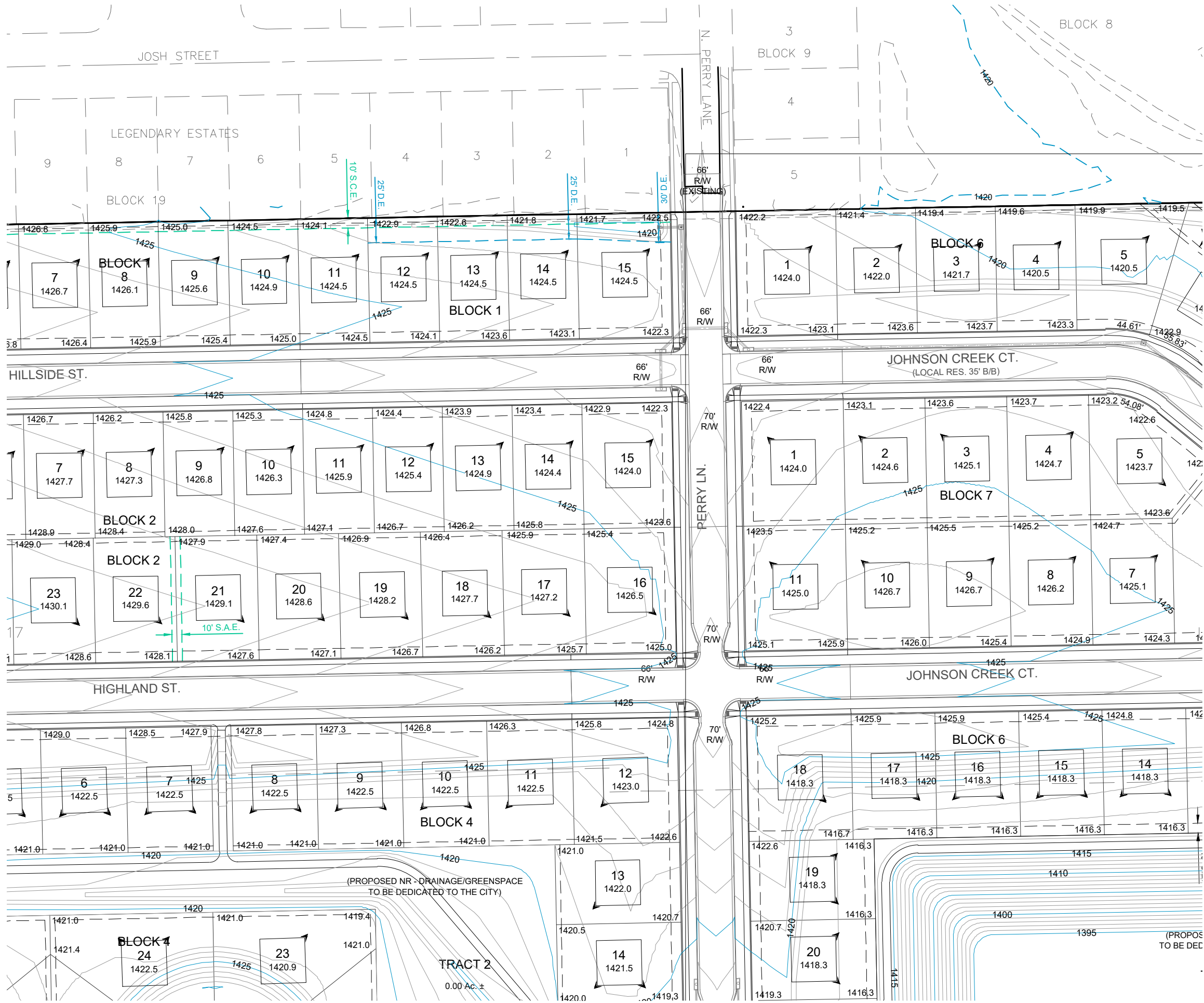


Brosz		
SHEET C7.03		
DATE: 9/8/2020		
REV1: 7/9/2021		
REV2: 9/7/2021		
REV3: 5/25/2022		
REV4: -		
REV5: -		
DESIGNED BY: TRP	DRAWN BY: TRP	CHECKED BY: EDC

MYDLAND ESTATES
DEVELOPMENT ENGINEERING PLAN
GRADING PLAN

Brosz Engineering, Inc.
2309 W. 50th St.
Sioux Falls, SD 57105
(605) 336-1676





SHEET LAYOUT INDEX

MINIMUM GROUND ELEVATION

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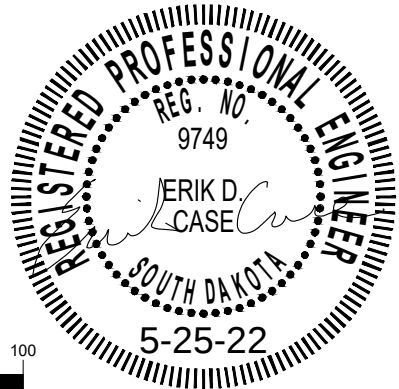
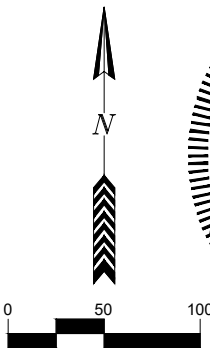
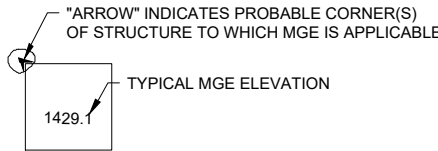
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MGE SYMBOL EXPLANATION:



SHEET
C7.04

DATE: 9/8/2020
REV1: 7/9/2021
REV2: 9/7/2021
REV3: 5/25/2022
REV4: -
REV5: -

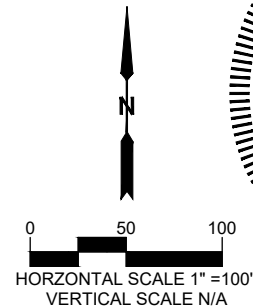
DESIGNED BY: TRP
DRAWN BY: TRP
CHECKED BY: EDC

MYDLAND ESTATES
DEVELOPMENT ENGINEERING PLAN
GRADING PLAN

Brosz Engineering, Inc.
2309 W. 50th St.
Sioux Falls, SD 57105
(605) 336-1676



20839F_CP5A.dwg



CIVIL SITE +
LAND DEVELOPMENT

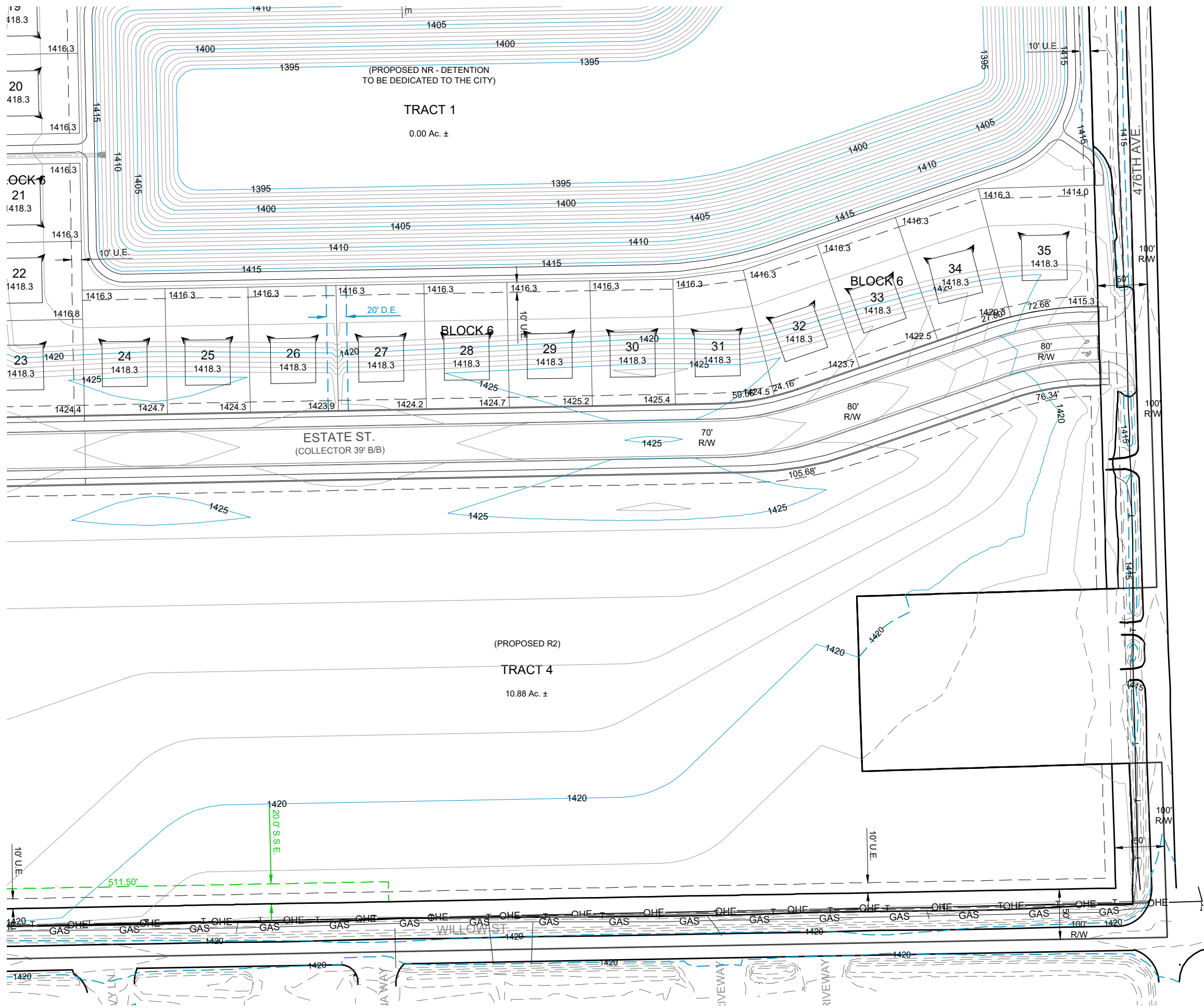
P.O. BOX 652
SIOUX FALLS, SD
57101
+
605-800-1912

CONSTRUCTION PLAN - PHASE 5A
MYDLAND ESTATES - HARRISBURG, SD
LOT LAYOUT PLAN

REVISIONS:	
1	DATE DESC
2	DATE DESC
3	DATE DESC

PROJECT NUMBER	
23050037	
DATE:	2/16/24
DRAWN BY:	TRP
CHECKED:	EDC

SHEET:	
F1	



MINIMUM GROUND ELEVATION

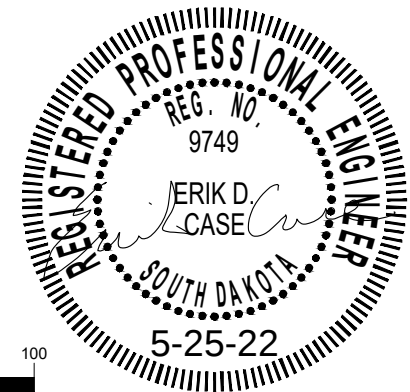
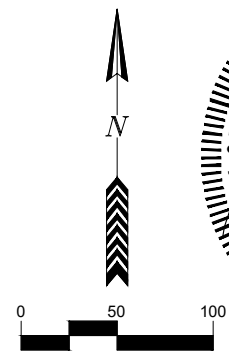
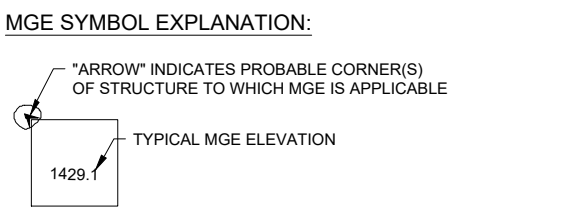
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SHEET
C7.07

DATE: 9/8/2020
REV1: 7/9/2021
REV2: 9/7/2021
REV3: 5/25/2022
REV4: -
REV5: -

DESIGNED BY: TRP	DRAWN BY: TRP	CHECKED BY: EDC
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MYDLAND ESTATES

DEVELOPMENT ENGINEERING PLAN

GRADING PLAN

Brosz Engineering, Inc.
2309 W. 50th St.
Sioux Falls, SD 57105
(605) 336-1676



PLAT OF LOTS 25, 26, 27 AND 28 IN BLOCK 2; LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 16A, 16B, 16C, 17, 18, 19, 20, 21, 22 AND 23 IN BLOCK 3; LOTS 1, 2, 3, 4, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39 AND 40 IN BLOCK 4; LOTS 1, 2 AND 3 IN BLOCK 5 OF MYDLAND ESTATES ADDITION

AN ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA.



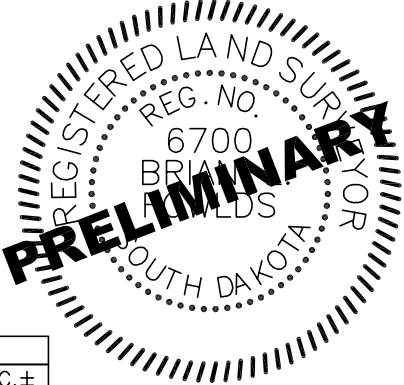
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	340.00'	133.38'	132.53'	S 10°11'29" W	22°28'37"
C2	260.00'	102.10'	101.45'	S 10°10'47" W	22°30'00"
C5	91.00'	49.33'	48.73'	N 75°32'24" W	31°03'38"
C6	25.00'	39.01'	35.17'	S 46°22'18" E	89°23'49"
C7	91.00'	20.16'	20.12'	N 53°27'23" W	12°41'46"
C8	25.00'	19.28'	18.81'	N 23°09'58" W	44°11'29"
C9	56.00'	12.17'	12.15'	N 39°08'57" W	12°27'15"
C10	56.00'	68.08'	63.97'	N 01°54'24" E	69°39'27"
C11	56.00'	51.01'	49.27'	N 62°49'57" E	52°11'40"
C12	56.00'	51.01'	49.27'	S 64°58'23" E	52°11'40"
C13	56.00'	68.08'	63.97'	S 04°02'49" E	69°39'27"
C14	56.00'	12.14'	12.11'	S 36°59'28" W	12°25'13"
C15	25.00'	19.32'	18.84'	S 21°03'55" W	44°16'15"
C16	25.00'	19.32'	18.84'	N 23°12'20" W	44°16'15"
C17	56.00'	12.14'	12.11'	N 39°07'54" W	12°25'08"
C18	56.00'	68.08'	63.97'	N 01°54'24" E	69°39'27"
C19	56.00'	51.01'	49.27'	N 62°49'57" E	52°11'40"
C20	56.00'	51.01'	49.27'	S 64°58'23" E	52°11'40"
C21	56.00'	68.08'	63.97'	S 04°02'49" E	69°39'27"
C22	56.00'	12.14'	12.11'	S 36°59'28" W	12°25'14"
C23	25.00'	19.32'	18.84'	S 21°03'55" W	44°16'15"
C24	91.00'	50.00'	49.37'	N 31°22'08" W	31°28'44"
C25	91.00'	22.17'	22.11'	N 08°39'05" W	13°57'22"
C26	58.00'	90.50'	81.59'	N 46°22'18" W	89°23'49"

- LEGEND:
- SET 5/8" REBAR W/CAP #6700
 - FD. MONUMENT
 - △ SECTION CORNER
 - (M) MEASURED DISTANCE
 - (R) RECORD INFORMATION
 - AC. ACRES
 - S.F. SQUARE FEET
 - E.S.L. EACH SIDE OF PROPERTY LINE
 - U.E. UTILITY EASEMENT
 - S.C.E. SUMP COLLECTION EASEMENT
 - R/W RIGHT-OF-WAY
 - N.T.S. NOT TO SCALE
 - PREVIOUSLY PLATTED LINE
 - RIGHT OF WAY LINE

NOTES:
BASIS OF BEARINGS IS UTM-ZONE 14
THIS PLAT WAS PREPARED WITHOUT THE
BENEFIT OF A TITLE COMMITMENT.

EASEMENTS OF RECORD WERE NOT
RESEARCHED AND ARE NOT SHOWN
ON THE PLAT.

AREA TABLE	
STREETS	4.785 AC.±
LOTS	15.484 AC.±
TOTAL	20.269 AC.±



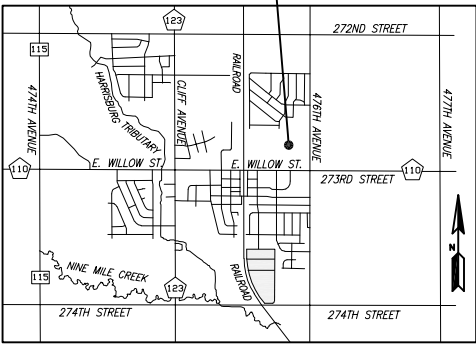
PREPARED BY:

Midwest
Land Surveying, Inc.
Land Surveying and GPS Consulting
211 E. 14th Street Suite 100
Sioux Falls, South Dakota 57104
Phone: (605) 339-8901 FAX:(605) 274-8951

SURVEYOR'S NOTE:

LOCATION OF THE FLOOD PLAIN ZONE WAS DIGITIZED FROM FLOOD
INSURANCE RATE MAP PANEL 162 OF 550, MAP NUMBER 46083C0162C,
MAP EFFECTIVE DATE APRIL 2, 2008.
THE ACCURACY OF SAID FLOOD ZONE IS APPROXIMATE AND NOT BASED ON
ANY FLOOD ELEVATION OR A FIELD SURVEY. NO WARRANTY IS PROVIDED FOR
THE EXACT LOCATION OF THE FLOOD PLAIN THAT A SUBSEQUENT FLOOD
ELEVATION SURVEY MAY DISCLOSE.
*SUBJECT AREA PART OF LINCOLN COUNTY UNINCORPORATED AREAS 460277.

SITE



VICINITY MAP N.T.S.
CITY OF HARRISBURG

AN ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA.

PLATTED SOUTH LINE OF LEGENDARY ESTATES/NORTH LINE OF
SOUTH 17 RODS 12 FEET 5 INCHES OF THE N1/2 SE1/4
36-100-50
[SEE AFFIDAVIT OF EXPLANATORY TITLE
(BOOK 29 OF MISC., ON PAGE 503)]



LEGEND:

- SET 5/8" REBAR W/CAP #6700
 ○ FD. MONUMENT (#6700)
 () RECORD INFORMATION
 AC. ACRES
 U.E. UTILITY EASEMENT
 D.E. DRAINAGE EASEMENT
 S.F. SQUARE FEET
 R/W RIGHT-OF-WAY
 N.T.S. NOT TO SCALE
 — PREVIOUSLY PLATTED LINE
 — EASEMENT LINE

NOTES:

1. AS PER FLOOD INSURANCE RATE MAP PANEL 162 OF 550, MAP NUMBER 48083C0162C, MAP EFFECTIVE DATE: APRIL 2, 2008, PLAT IS WITHIN FLOOD ZONE X.
2. THE STREETS, AS SHOWN ON THE PLAT, ARE DEDICATED TO THE PUBLIC FOR PUBLIC USE FOREVER.
3. BASIS OF BEARINGS IS UTM-ZONE 14
4. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
5. EASEMENTS OF RECORD WERE NOT RESEARCHED AND ARE NOT SHOWN ON THE PLAT.
6. DISTANCES ALONG CURVES ARE CHORD DISTANCES.
7. DRAINAGE AND PIPELINE EASEMENTS MUST BE KEPT CLEAR OF ALL OBSTRUCTIONS INCLUDING FENCES, SHEDS, AND TREES.



PREPARED BY:

 **Midwest**
Land Surveying, Inc.

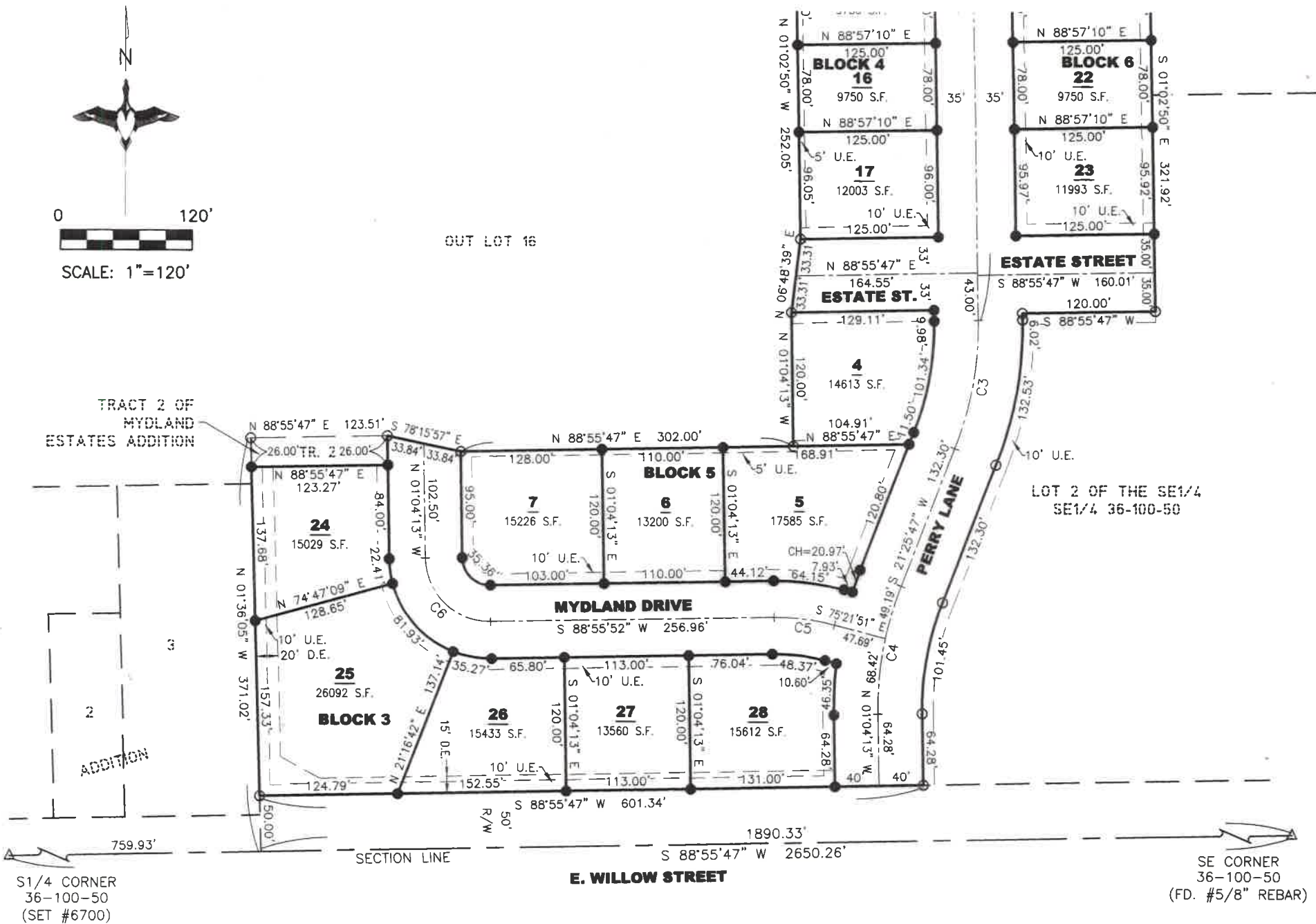
Land Surveying and GPS Consulting
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Sioux Falls, South Dakota 57104
Phone: (605) 339-8901 FAX: (605) 274-8951



VICINITY MAP N.T.S.
CITY OF HARRISBURG

PLAT OF LOT 16 IN BLOCK 2; LOTS 24, 25, 26, 27 AND 28 IN BLOCK 3; LOTS 12, 13, 14, 15, 16, AND 17 IN BLOCK 4; LOTS 4, 5, 6, AND 7 IN BLOCK 5; LOTS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19 20, 21, 22 AND 23 IN BLOCK 6; LOTS 2, 3, 4, 5, 6, 7, 8, 9, 10 AND 11 IN BLOCK 7; ALL OF MYDLAND ESTATES ADDITION

AN ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA.



AREA TABLE	
STREETS	5.34 AC.±
LOTS	14.03 AC.±
TOTAL	19.37 AC.±

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	110.00'	77.26'	75.68'	S 70°55'34" E	40°14'31"
C2	110.00'	268.32'	206.57'	S 19°04'26" W	139°45'29"
C3	300.00'	117.69'	116.94'	S 10°11'29" W	22°28'37"
C4	300.00'	117.81'	117.05'	S 10°10'47" W	22°30'00"
C5	210.26'	55.45'	55.29'	N 82°55'28" W	15°06'39"
C6	58.00'	91.11'	82.02'	N 46°04'11" W	90°00'00"

LEGEND:

- SET 5/8" REBAR W/CAP #6700
- FD. MONUMENT (#6700)
- () RECORD INFORMATION
- AC. ACRES
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- S.F. SQUARE FEET
- R/W RIGHT-OF-WAY
- N.T.S. NOT TO SCALE
- PREVIOUSLY PLATTED LINE
- - - EASEMENT LINE

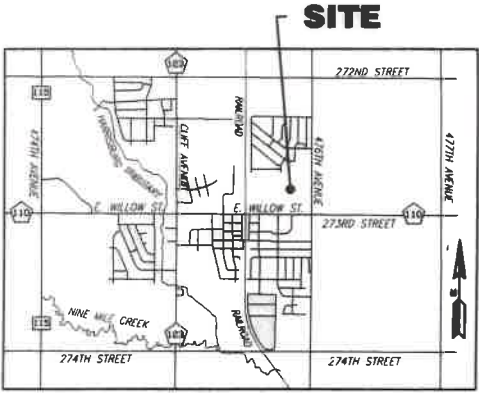
NOTES:

1. AS PER FLOOD INSURANCE RATE MAP PANEL 162 OF 550, MAP NUMBER 48083C0162C, MAP EFFECTIVE DATE: APRIL 2, 2008, PLAT IS WITHIN FLOOD ZONE X.
2. THE STREETS, AS SHOWN ON THE PLAT, ARE DEDICATED TO THE PUBLIC FOR PUBLIC USE FOREVER.
3. BASIS OF BEARINGS IS UTM-ZONE 14
4. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
5. EASEMENTS OF RECORD WERE NOT RESEARCHED AND ARE NOT SHOWN ON THE PLAT.
6. DISTANCES ALONG CURVES ARE CHORD DISTANCES.
7. DRAINAGE AND PIPELINE EASEMENTS MUST BE KEPT CLEAR OF ALL OBSTRUCTIONS INCLUDING FENCES, SHEDS, AND TREES.



PREPARED BY:

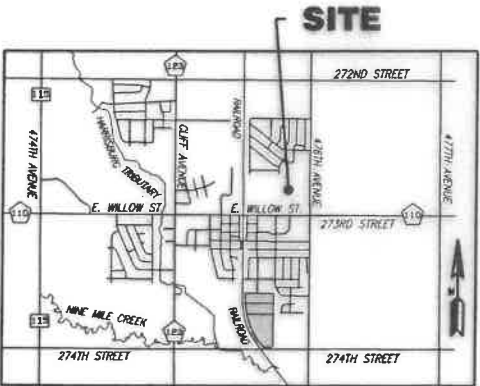
Midwest
Land Surveying, Inc.
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Sioux Falls, South Dakota 57104
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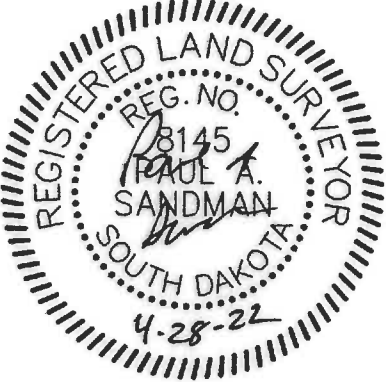
VICINITY MAP N.T.S.
CITY OF HARRISBURG

PLAT OF LOTS 17, 18, 19, 20, 21, 22, 23 AND 24 IN BLOCK 2 AND LOTS 5, 6, 7, 8, 9, 10 AND 11 IN BLOCK 4 OF MYDLAND ESTATES ADDITION

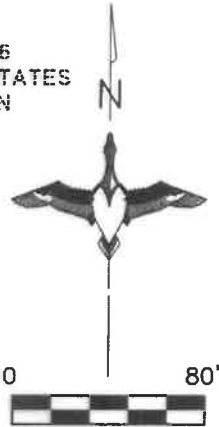
AN ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA.



VICINITY MAP N.T.S.
CITY OF HARRISBURG



TRACT 6
MYDLAND ESTATES
ADDITION



SCALE: 1"=80'

LEGEND:

- SET 5/8" REBAR W/CAP #8145
- FD. MONUMENT
- △ SECTION CORNER
- (M) MEASURED DISTANCE
- (R) RECORD INFORMATION
- AC. ACRES
- S.F. SQUARE FEET
- E.S.L. EACH SIDE OF PROPERTY LINE
- U.E. UTILITY EASEMENT
- S.A.E. SUMP ACCESS EASEMENT
- R/W RIGHT-OF-WAY
- N.T.S. NOT TO SCALE
- PREVIOUSLY PLATTED LINE
- - - RIGHT OF WAY LINE

NOTES:

BASIS OF BEARINGS IS UTM-ZONE 14

THIS PLAT WAS PREPARED WITHOUT
THE BENEFIT OF A TITLE COMMITMENT.

EASEMENTS OF RECORD WERE NOT
RESEARCHED AND ARE NOT SHOWN
ON THE PLAT.

AREA TABLE	
STREETS	0.966 AC.±
LOTS	3.657 AC.±
TOTAL	4.623 AC.±

PREPARED BY:



Land Surveying and GPS Consulting

211 E. 14th Street Suite 100

Sioux Falls, South Dakota 57104

Phone: (605) 339-8901 FAX:(605) 274-8951

SURVEYOR'S NOTE:

LOCATION OF THE FLOOD PLAIN ZONE WAS DIGITIZED FROM FLOOD INSURANCE
RATE MAP PANEL 162 OF 550, MAP NUMBER 46083C0162C, MAP EFFECTIVE DATE
APRIL 2, 2008.

THE ACCURACY OF SAID FLOOD ZONE IS APPROXIMATE AND NOT BASED ON ANY
FLOOD ELEVATION OR A FIELD SURVEY. NO WARRANTY IS PROVIDED FOR THE
EXACT LOCATION OF THE FLOOD PLAIN THAT A SUBSEQUENT FLOOD ELEVATION
SURVEY MAY DISCLOSE.

*SUBJECT AREA PART OF LINCOLN COUNTY UNINCORPORATED AREAS 460277.

